

GENERAL APPLICATION FORM



TOWN OF MEDWAY
 ZONING BOARD OF APPEALS
 155 Village Street
 Medway MA 02053

Phone: 508-321-4915 | zoning@medwayma.gov
 Zoning Board of Appeals | Town of Medway

NOTE: THE APPLICATION WILL NOT BE CONSIDERED "COMPLETE" UNLESS ALL NECESSARY DOCUMENTS, FEES, & WAIVER REQUESTS ARE SUBMITTED.

TO BE COMPLETED BY THE APPLICANT

Applicant/Petitioner(s): Elias Cordova	Application Request(s):
Property Owner(s): Ehas Cordova Ilijana Cordova	Appeal <input type="checkbox"/>
Site Address(es): 2 Bullard Cir Medway MA 02053	Special Permit <input type="checkbox"/>
Parcel ID(s): 06-008	Variance <input checked="" type="checkbox"/>
Zoning District(s): AR-1	Determination/Finding <input type="checkbox"/>
Registry of Deeds Book & Page No. and Date or Land Court Certificate No. and Date of Current Title:	Extension <input type="checkbox"/>
	Modification <input type="checkbox"/>
	Comprehensive Permit <input type="checkbox"/>

TO BE COMPLETED BY STAFF:

Check No.: [REDACTED]

Date of Complete Submittal: 5/12/26

Comments:

APPLICANT/PETITIONER INFORMATION

The owner(s) of the land must be included as an applicant, even if not the proponent. Persons or entities other than the owner may also serve as co-applicants in addition to the owner(s), however, in each instance, such person shall provide sufficient written evidence of authority to act on behalf of the

RECEIVED TOWN CLERK
 MAY 12 '26 PM 1:15

GENERAL APPLICATION FORM

<p>Applicable Section(s) of the Zoning Bylaw:</p>	<p>Requesting Waivers? Y N</p> <p>Does the proposed use conform to the current Zoning Bylaw? Y N</p>
<p>Present Use of Property: <i>Residential use</i></p> <p>Proposed Use of Property: <i>Residential use</i></p>	<p>Has the applicant applied for and/or been refused a building permit? Y N</p> <p>Is the property or are the buildings/ structures pre-existing nonconforming? Y N</p> <p>Is the proposal subject to approval by the BOH or BOS? Y N</p> <p>Is the proposal subject to approval by the Conservation Commission? Y N</p>
<p>Date Lot was created:</p>	<p>Is the property located in the Floodplain District? Y N</p>
<p>Date Building was erected:</p>	<p>Is the property located in the Groundwater Protection District? Y N</p>
<p>Does the property meet the intent of the Design Review Guidelines?</p>	<p>Is the property located in a designated Historic District or is it designated as a Historic Landmark? Y N</p>
<p>Describe Application Request:</p> <p><i>Setbacks request approval current 14.4</i> <i>Request variance for setback from 35' to 0.18'</i> <i>Request variance for rear yard from 15' to 14.4'</i></p>	

FILL IN THE APPLICABLE DATA BELOW



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NOTE: THE APPLICATION WILL NOT BE CONSIDERED "COMPLETE" UNLESS ALL NECESSARY DOCUMENTS, FEES, & WAIVER REQUESTS ARE SUBMITTED. A GENERAL APPLICATION FORM MUST BE COMPLETED FOR ALL APPLICATIONS.

TO BE COMPLETED BY THE APPLICANT

Please provide evidence regarding how the Variance Criteria, outlined below, is met. All Variance Criteria must be met to be considered. Provide attachments if necessary.

<p>1. What circumstances exist relating to the shape, topography, or soil conditions of the subject property which do not generally affect other land in the zoning district? (See MGL c, 40A Section 10)</p> <p>The proposed area is in a flat surface, close to the main property no other trees or natural landscaping in that section.</p>
<p>2. What substantial hardship, financial or otherwise, is caused by the circumstances listed above when the literal enforcement of Medway Zoning Bylaw is applied? (See MGL c. 40A Section 10) (Cannot be <i>personal hardship</i>)</p> <ul style="list-style-type: none"> - financial hardship, I submitted a permit using site was approved without the plot plan. shows close to the lot. However is about 25' from the road. - foundation was poured, closer to elderly family member to access the property.
<p>3. State why desirable relief may be granted without substantial detriment to the public good.</p> <ul style="list-style-type: none"> - Public - Private driveway not immediate view nor interfering with the public driveway. or obstructing the view or public. - Still about 20' from the road.
<p>4. State why relief may be granted without nullifying or substantially derogating from the intent or purpose of the Zoning Bylaw.</p> <ul style="list-style-type: none"> - See attached aerial view and also on the plot plan we are far from the main road - would be beneficial for the family members

Elvis Cordova

Signature of Applicant/Petitioner or Representative

5/11/2020

Date



TOWN OF MEDWAY
COMMONWEALTH OF MASSACHUSETTS
ZONING BOARD OF APPEALS

Medway Town Hall
155 Village Street
Medway, MA 02053
Phone (508) 321-4890
Email: zoning@medwayma.gov
Zoning Board of Appeals | Town of Medway

Legal Notice Billing Agreement Form

Board Members

Brian White, Chair
Gibb Phenegar, Vice Chair
Christina Oster, Clerk
Joe Barresi, Member
Tom Emero, Member
Adam Kaufman, Associate Member

The Zoning Board of Appeals will prepare and submit a legal notice to be published in the *Milford Daily News*. This legal notice will appear in two consecutive issues of the newspaper, at least 14 days prior to the date of your hearing. The cost varies based upon the applicant request and information required for the notice. The Zoning Board of Appeals will forward the ad proof with the total to be paid by the applicant.

Elias Cordova
Applicant Name

2 Bullard Cir
Property Address

[REDACTED]
Telephone Number

06-008
Parcel ID

[REDACTED]
Email Address

AR-1
Zoning District

I hereby agree to provide a check in the sum of the ad proof total provided by the Zoning Board of Appeals for the required legal notice for a public hearing before the Zoning Board of Appeals.

Elias Cordova
Applicant Signature

5/1/2020
Date

Please Note: This form must be returned to the Zoning Board of Appeals when submitting your application



TOWN OF MEDWAY
COMMONWEALTH OF MASSACHUSETTS
ZONING BOARD OF APPEALS

Medway Town Hall
155 Village Street
Medway, MA 02053
Phone (508) 321-4890
Email: zoning@medwayma.gov
Zoning Board of Appeals | Town of Medway

Representative Authorization Form

Board Members

- Brian White, Chair
Gibb Phenegar, Vice Chair
Christina Oster, Clerk
Joe Barresi, Member
Tom Emero, Member
Adam Kaufman, Associate Member

I, Elias Cordova certify that I am the owner(s) of the property, and I am aware of and authorize the submission of this application being submitted by my representative. All information submitted is accurate to my knowledge.

Elias Cordova Property Owner Name
2 Bullard Cir Property Address

[Redacted] Telephone Number
060-008 Parcel ID

[Redacted] Email Address
AR-1 Zoning District

Elias Cordova Property Owner Signature
5/11/2026 Date

[Signature] Property Owner Signature
5/11/2026 Date

Please Note: This form must be returned to the Zoning Board of Appeals when submitting the application if being completed by a representative or it will be incomplete until this form is completed.

TREASURER/COLLECTOR CERTIFICATION



TOWN OF MEDWAY

ZONING BOARD OF APPEALS

155 Village Street
Medway MA 02053

Phone: 508-321-4915 | zoning@townofmedway.org
www.townofmedway.org/zoning-board-appeal

TO BE COMPLETED BY THE APPLICANT

Applicant/Petitioner(s): Elias Cordova
Property Owner(s): 2 Bullard Cir
Site Address(es):
Parcel ID(s): 06-008
Registry of Deeds Book & Page No. and Date or Land Court Certificate No. and Date of Current Title:

Elias Cordova 5/1/2024
 Signature of Applicant/Petitioner or Representative Date

FOR TOWN HALL USE ONLY	
<i>To be filled out by the Treasurer/Collector:</i>	
_____ Date Reviewed	_____ Medway Treasurer/Collector
Tax Delinquent: Y N	
Comments:	

I CERTIFY THAT THE EXISTING FOUNDATIONS SHOWN ON THIS PLAN DO NOT LIE WITHIN THE FLOOD PLAIN



Anthony M. Dellorco

N/F RSEC REALTY TRUST
141 SUMMER STREET
MAP 12 PARCEL 007

ZONE AR I
AREA 4,000 S.F.
FRONTAGE 180'
SETBACK 35'
SIDEYARD 15'
REARYARD 15'
HEIGHT 35'
LOT COVERAGE
STRUCTURE 25%
STRUCT. & IMPERV. 35%
**PROPOSED LOT COVERAGE
STRUCTURES 6.78%
STRUCT. & IMPERV. 8.77%**
NOT WITHIN ZONE I OR II

EXISTING FOUNDATIONS
PLAN OF LAND
IN
MEDWAY, MA.

SCALE: 1"=40' APRIL 21, 2026
OWNER: Elias Cordova
and Ilirjana Cordova
2 Bullard Circle
Medway, Ma. 02053
COLONIAL ENGINEERING INC.
11 Awl Street
Medway, Ma. 02053
508-533-1644



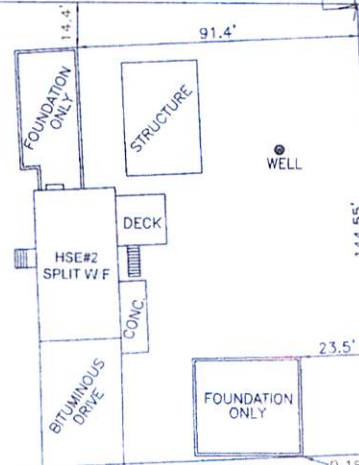
SUMMER STREET

S. 01°30'50" E
138.24'

LOT 4
65,082 S.F.
MAP 6 PARCEL 008

S 88°16'22" W
418.38'

SHED



N/F JOSEPH AVELLINO
3 BULLARD CIRCLE
MAP 6 PARCEL 007

A40.55'
R25.00'

400.00'
N 85°33'44" E

BULLARD (40' PRIVATE WAY) CIRCLE

N/F ILIRJANA CORDOVA
151 SUMMER STREET
MAP 6 PARCEL 10

N/F RICHARD LOPRESTI
4 BULLARD CIRCLE
MAP 6 PARCEL 009

REQUEST VARIANCE FOR SETBACK FROM 35' TO 0.18'
REQUEST VARIANCE FOR REARYARD FROM 15' TO 14.4'

2 Bullard Cir, Medway, MA 02053

Project Location



44 Dinwiddie Ave
Farmington, MA
(413) 221-1794, 400-2979
www.milhawk.com

Project Information
Bullard Cir
2 Bullard Cir
Medway

Type of Project
Side Addition

Drawn by: Luis Amarel

Revised by: Pavel K

Drawing Date: 4/2/25

Drawing Version

Drawing Scale

Project Number: 0227

Printed

Stamp

REVIEWED BY



Title
TITLE

Sheet

00-TITLE

Sheet List

Sheet Number	Sheet Name
00-TITLE	TITLE
0-GENERAL NOTES	GENERAL NOTES
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A - 104	AXON VIEW 2
A - 105	AXON VIEW 3
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A - 107	PROPOSED 2ND FLOOR
A - 108	PROPOSED ROOF
A - 109	SECTION 1
A - 110	SECTION 2
S-001	PROPOSED 1ST FLOOR
S-002	PROPOSED 2ND FLOOR
S-003	PROPOSED CEILING PLAN
S-004	PROPOSED BRIDGE ROOF
S-005	PROPOSED MAIN ROOF
A-116	WINDOW AND HEADERS
A - 100	EXISTING CONDITIONS
D - 001	DEMOLITION
A - 101	PROPOSED ELEVATIONS
A - 111	SECTION 3
A - 112	WALL ASSEMBLY
A - 113	DETAILS
A - 114	DETAILS
A - 115	DETAILS

ARCHITECT'S NOTES:

1. THESE DRAWINGS WERE PREPARED FOR BUILDING PERMIT PURPOSES.
2. OTHER BUILDING SYSTEMS SUCH AS: MECHANICAL, ELECTRICAL, PLUMBING, INTERIOR FINISHES, SHALL BE SELECTED BY THE OWNER.
3. ALL OWNER SELECTED SYSTEMS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS & COORDINATED WITH THESE DRAWINGS.
4. FIRE BLOCKING REQUIRED: FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN TOP STORY AND THE ROOF SPACE. FIRE BLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
 - a1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS
 - a2. VERTICALLY AT THE CEILING AND FLOOR LEVELS
 - b. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS
 - c. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
 - d. AT THE OPENINGS AROUND VENTS, PIPES, AND DUCTS AT THE CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAMES AND PRODUCTS OF COMBUSTION

IMPORTANT NOTICE:

THE CONTRACTOR HIRED BY THE CLIENT DOES NOT HAVE THE AUTHORITY TO MODIFY STRUCTURAL DETAILS, INTERNAL LAYOUT, OR ANY OTHER ASPECTS COVERED BY THE PROJECT.

IF THE CONTRACTOR IDENTIFIES ANY NECESSARY CHANGES, THEY MUST CONTACT MILHAWK DSG & ARCH TO REQUEST A MODIFICATION, WHICH WILL ONLY BE CONSIDERED THROUGH AN RFI (REQUEST FOR INFORMATION) JUSTIFYING THE NEED FOR THE CHANGE. THE MODIFICATION WILL BE GRANTED AND UPDATED IN THE PROJECT THROUGH A BULLETIN.

IF THE CONTRACTOR ALTERS ANY STRUCTURAL COMPONENT WITHOUT PRIOR NOTICE, A FINE WILL BE IMPOSED ON THE CSL HOLDER OR THE PERSON IN CHARGE OF THE WORK, WITH THE POSSIBILITY OF REMOVING THE RESPONSIBLE ENGINEER'S STAMP.

IF THE CONTRACTOR ALTERS THE LAYOUT OR ANY PROJECT DETAILS WITHOUT PRIOR APPROVAL, A FINE MAY BE IMPOSED ON THE CSL HOLDER OR THE PERSON IN CHARGE, WITH THE POSSIBILITY OF REMOVING THE RESPONSIBLE ENGINEER'S STAMP.

PROJECT INFORMATION

BUILDING CODES: IRC, IMC, IBC, 2015 MASSACHUSETTS BUILDING CODE 9TH EDITION AMENDMENTS
 LOCAL JURISDICTION CITY, STATE: ZONING & GENERAL BY LAWS MEDWAY, MA 02053
 OCCUPANCY GROUP: R (RESIDENTIAL)
 TYPE OF CONSTRUCTION: SIDE ADDITION

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO MASSACHUSETTS BUILDING CODE AND ALL FEDERAL, STATE AND TOWN OF MEDWAY LAWS, CODES AND REGULATIONS AS EACH MAY APPLY.

2. ALL EXISTING CONDITIONS MUST BE VERIFIED IN FIELD. IF DISCREPANCIES ARE FOUND, THEY HAVE TO BE REPORTED TO THE ENGINEER PRIOR TO START OF WORK. OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR THE SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE START OF SUCH WORK.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULING AND WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER AND SHALL BE RESOLVED PRIOR TO PROCEEDING WITH THE WORK.

4. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, INCLUDING BUT NOT LIMITED TO BRACING AND SHORING.

5. THE CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

6. ALL WORK SHALL BE PERFORMED IN A FIRST CLASS AND WORKMANLIKE MANNER IN CONFORMITY WITH THE PLANS AND SPECIFICATIONS, AND SHALL BE IN GOOD USABLE CONDITION AT THE COMPLETION OF THE PROJECT.

7. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS AND STRUCTURE PLACEMENT, PRIOR TO START OF THE WORK. THE CONTRACTOR WILL OBSERVE ALL POSSIBLE PRECAUTIONS TO AVOID DAMAGE TO SAME. ANY DAMAGE TO EXISTING STRUCTURES AND UTILITIES, WHETHER SHOWN OR NOT ON THE DRAWINGS, SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

8. PRIOR TO BIDDING THE WORK THE CONTRACTOR SHALL VISIT THE SITE AND THOROUGHLY REVIEW THE ACTUAL CONDITIONS AND QUANTITIES, IF ANY. NO CLAIM AGAINST THE OWNER OR ENGINEER WILL BE ALLOWED FOR ANY EXCESS OR DEFICIENCY THEREIN, ACTUAL OR RELATIVE.

9. CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION AND RELOCATION WORKS, IF ANY.

10. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING ANY NEW CONSTRUCTION.

11. CONTRACTOR SHALL VERIFY FLOOR TO FLOOR HEIGHTS PRIOR TO COMMENCING CONSTRUCTION.

12. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR INSTRUCTION.

13. ALL WORK TO BE EXECUTED IN ACCORDANCE WITH STATE AND LOCAL CODES AND INDUSTRY STANDARD CONSTRUCTION REQUIREMENTS.

14. INSULATION REQUIREMENTS WERE PREPARED IN ACCORDANCE WITH STATE BUILDING CODE. MANY COMMUNITIES HAVE INCREASED THESE REQUIREMENTS BY ADOPTING "ENERGY STRETCH CODE", CHECK WITH LOCAL BUILDING DEPARTMENT REGARDING THESE REQUIREMENTS, EXCEPTIONS, AND WAIVERS.

ARCHITECT'S NOTES:

1. THESE DRAWINGS WERE PREPARED FOR BUILDING PERMIT PURPOSES.

2. OTHER BUILDING SYSTEMS SUCH AS: MECHANICAL, ELECTRICAL, PLUMBING, INTERIOR FINISHES, SHALL BE SELECTED BY THE OWNER.

3. ALL OWNER SELECTED SYSTEMS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS & COORDINATED WITH THESE DRAWINGS.

DECK NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION, SHORING, AND RELOCATION WORKS, IF ANY.

2. ALL WOOD TO BE PRESSURE TREATED, SYP NO 2 OR BETTER.

3. ALL CONNECTORS TO STAINLESS STEEL.

4. CONCRETE SHALL BE FC = 3000 PSI.

5. DECK BOARDS SHALL BE ATTACHED TO EACH JOIST WITH TWO NAILS OR DECK SCREWS.

6. CONNECTOR SHALL BE BY SIMPSON OR APPROVED EQUAL.

GENERAL CONDITIONS:

1. CONTRACTOR SHALL REVIEW ALL DEMOLITION PROCEDURES WITH ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

2. CONTRACTOR SHALL PREPARE A DEMOLITION / CONSTRUCTION SCHEDULE TO BE SUBMITTED, REVIEWED AND COORDINATED WITH THE MANAGEMENT COMPANY A MINIMUM OF 1 WEEK PRIOR TO ANY PLANNED WORK.

3. NO WORK SHALL BE EXECUTED BEFORE 8 A.M. AND NO LATER THAN 6 P.M., WEEKENDS AND HOLIDAYS.

4. CONTRACTOR SHALL SAFEGUARD AND PROTECT THE EXISTING LANDSCAPE AND SHALL BE RESPONSIBLE FOR ANY REPAIRS OR CORRECTIVE DAMAGE.

5. THE CONTRACTOR SHALL COORDINATE WITH THE MANAGEMENT COMPANY FOR TEMPORARY TOILET FACILITIES, TEMPORARY ELECTRIC, PARKING FOR WORKERS, MATERIAL DELIVERIES AND STORAGE.

6. CONTRACTOR SHALL ON A DAILY BASIS MAINTAIN A SAFE AND ORDERLY PROJECT SITE, FREE OF ANY HAZARDS.

FIRE NOTES:

1. FIRE BLOCKING REQUIRED. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN TOP STORY AND THE ROOF SPACE. FIRE BLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:

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b. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.

c. IN CONCEALED SPACES BETWEEN STAIR STRINGS AT THE TOP AND BOTTOM OF THE RUN.

d. AT THE OPENINGS AROUND VENTS, PIPES, AND DUCTS AT THE CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAMES AND PRODUCTS OF COMBUSTION.



44 Cincinnati Ave
Framingham, MA
01702 (774) 360-2972
www.millhawk.com

Project Information

Project Name:
2 Bedford Ct,
Medway

Type of Project

Site Address

Created by: Luis Arrasca

Reviewed by: Phaed K

Drawing Date: 5/2/25

Drawing Version

Drawing Scale

Project Number: 0327

Revisions

Stamp

REVIEWED BY

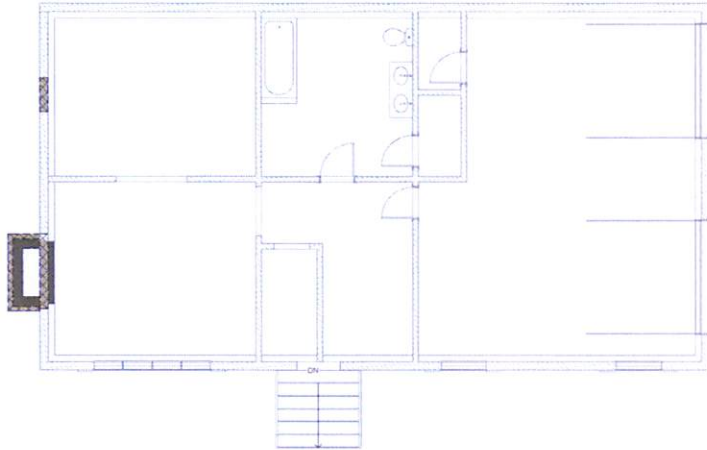


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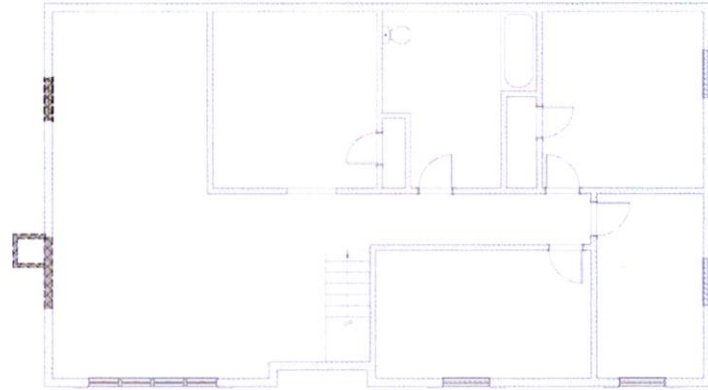
GENERAL
NOTES

Sheet

0-GENERAL
NOTES



① D1 - BASEMENT DEMOLITION
1/4" = 1'-0"



② D2 - 1ST FLOOR DEMOLITION
1/4" = 1'-0"

WALL LEGEND	
GRAPHIC	DESCRIPTION
	EXISTING 8FT CONCRETE WALL - 12" THICKNESS
	EXISTING 2X6 WALL
	EXISTING 2X4 PARTITION WALL
	DEMOLITION
	NEW 8'-0" CONCRETE WALL - 12" THICKNESS
	NEW 2X4 K.D. STUD @ 16" O.C. - INTERIOR WALL
	NEW 2X6 K.D. STUD @ 16" O.C. - INTERIOR WALL
	NEW 2X6 K.D. STUD @ 16" O.C. - EXTERIOR WALL



44 Divamore Ave
Frammingham, MA
01702 (781) 309-2972
www.milhawk.com

Project Information
Bullard Cir
2 Bullard Cir
Medway

Type of Project
Site Addition

Drawn by: Luis Amara

Reviewed by: Phil K

Drawing Date: 5/2/25

Drawing Version:

Drawing Scale As Indicated

Project Number: 0027

preparing

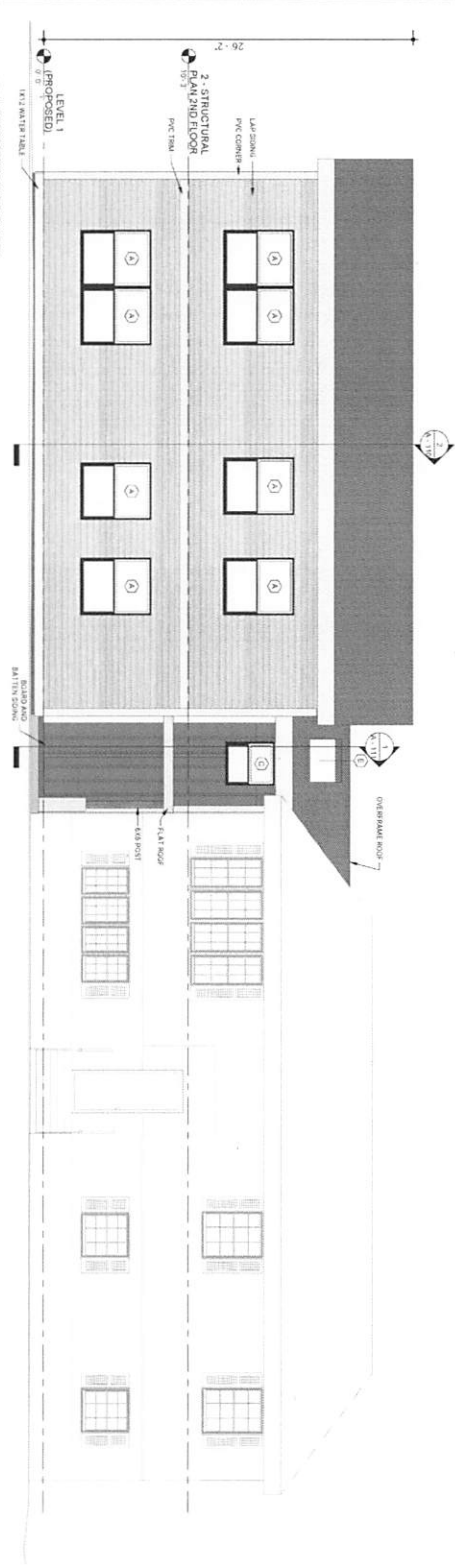
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REVIEWED BY

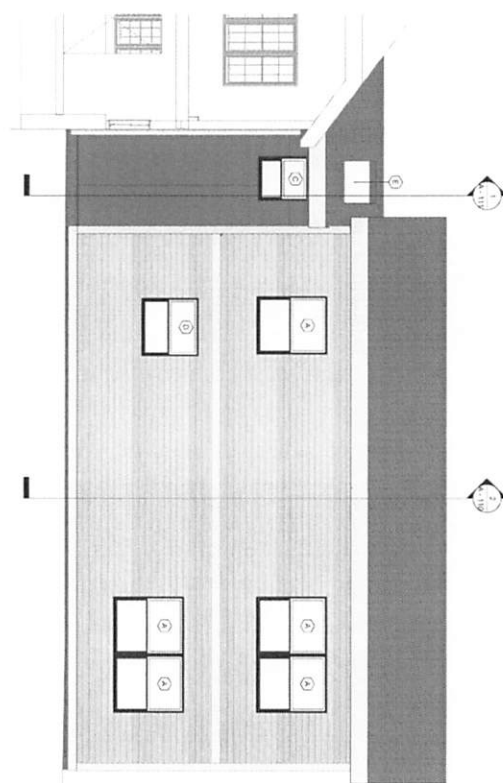


Title:
DEMOLITION

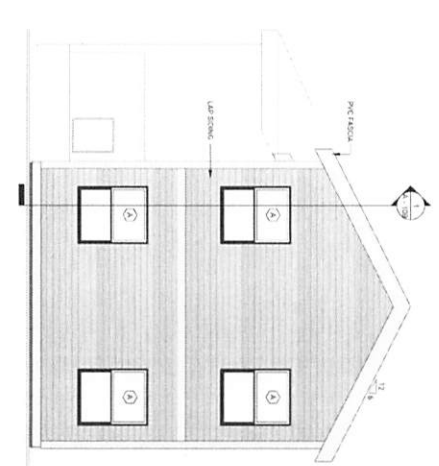
Sheet
D - 001 -
DEMOLITION



1. PROPOSED FRONT ELEVATION
1/4" = 1'-0"



2. PROPOSED NEAR ELEVATION
1/4" = 1'-0"



3. PROPOSED WEST ELEVATION
1/4" = 1'-0"



4415 Oak Grove Ave
Farmingdale, NY 11735
516.751.7430 ext. 2072
9099310@millhawk.com

Project Information
Millard C
2 Pageant Ct
Melway

Type of Project
Site Address

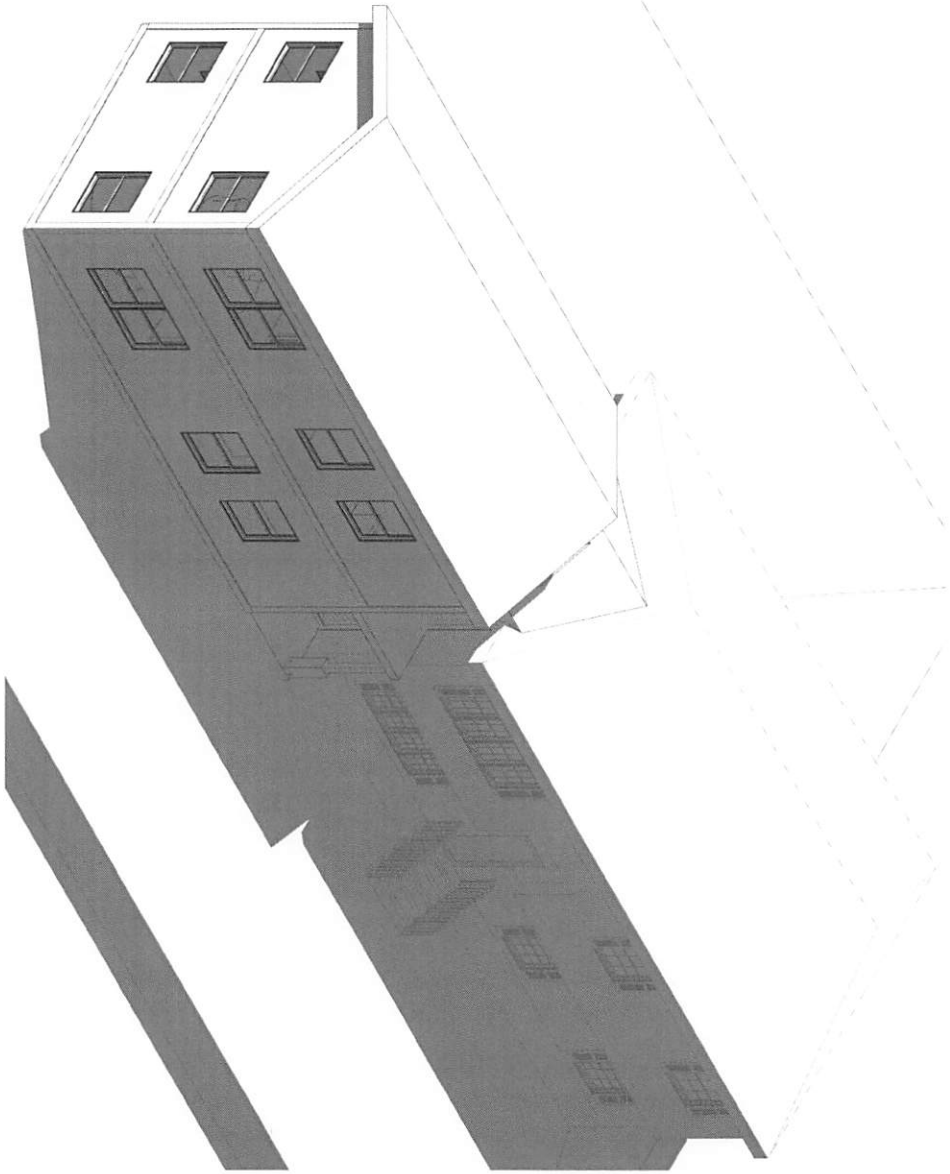
Drawn by: [blank]
Reviewed by: [blank]
Drawing Date: 5/27/25
Drawing Version:
Drawing Scale: 1/4" = 1'-0"
Project Number: 0027
Date: 06/06



REVIEWED BY
The
PROPOSED
ELEVATIONS

Sheet
A - 101

01 AXON 1



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44 Chestnut Ave
 Portland, ME 04102
 (207) 761-5300 ext 2
www.millhawk.com

Project Information
 2023
 2023
 2023

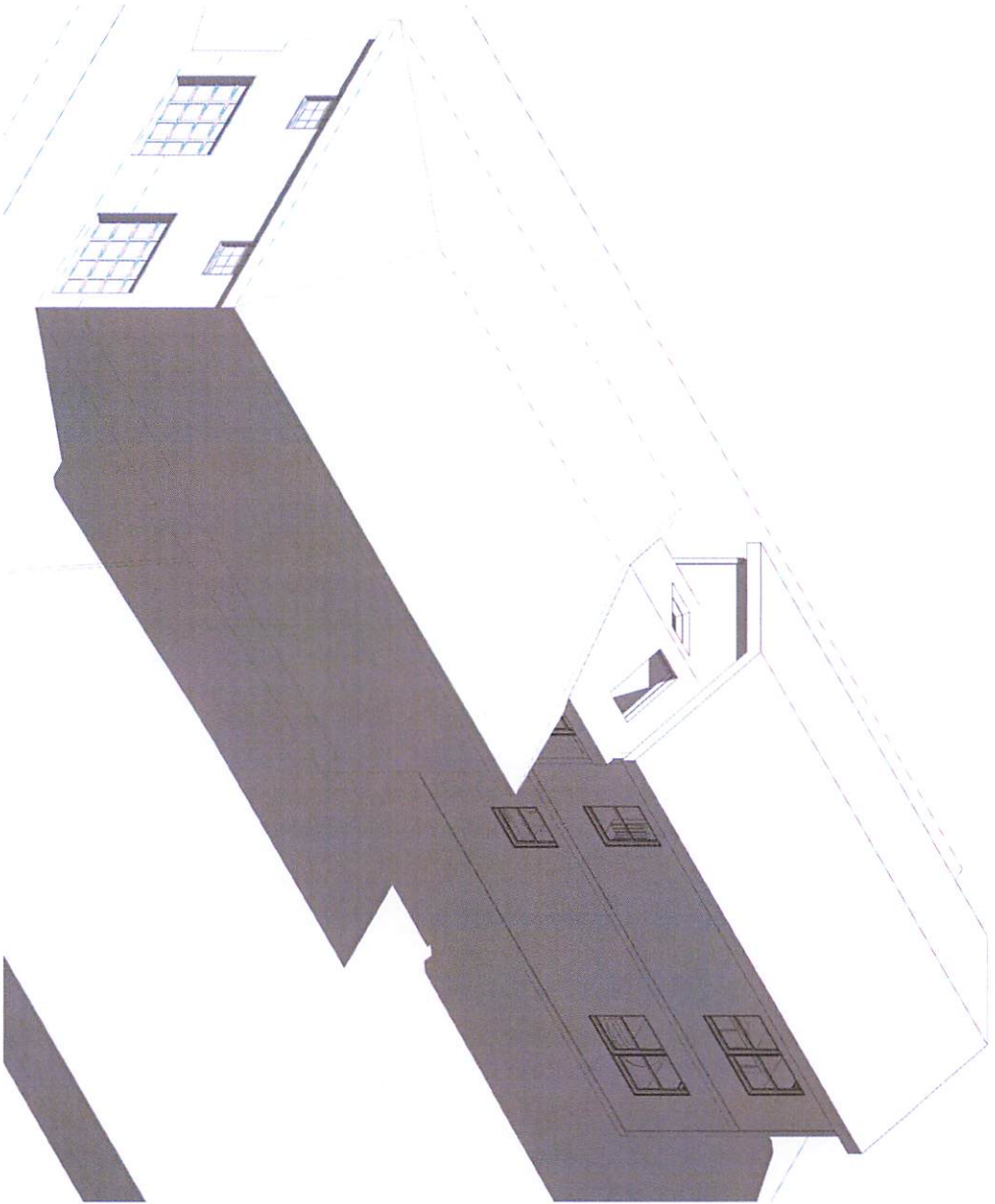
Type of Project
 S&P Addition

Created by: [unclear]
 Revised by: [unclear]
 Drawing Date: 5/27/25
 Drawing Version:
 Drawing Scale:
 Project Number: 0027
 Issued to:
 Issued by:



REVIEWED BY
 Title
 AXON VIEW
 1

Scale
 A - 1/32



01-Axon 3



44 Charlotte Ave
 Farmington, VA
 01152-1741 508-2972
 www.millhawk.com

Project Information
 Millhawk
 2-10-10-10
 Method

Type of Project
 Site Addition

Drawn by: [Name]
 Checked by: [Name]
 Design Date: 5/27/05
 Drawing Version

Drawing Scale
 Project Number: 0207
 1/8"=1'-0"

SEAL
 REGISTERED BY

Title
 AXON VIEW
 3

Sheet
 A-105



MILLHAWK 1852

44 Desjardins Ave
 Framingham, MA
 01702 (781) 880-2929
 www.millhawk.com

Project Information:
 Building Or
 2 Bullard Cir
 Medway

Type of Project:
 Skills Addition

Drawn by: Luis Arraiza
 Revised by: David K

Drawing Date: 5/22/25
 Drawing Version:

Drawing Scale: As Indicated
 Project Number: 0327

Bulletins:

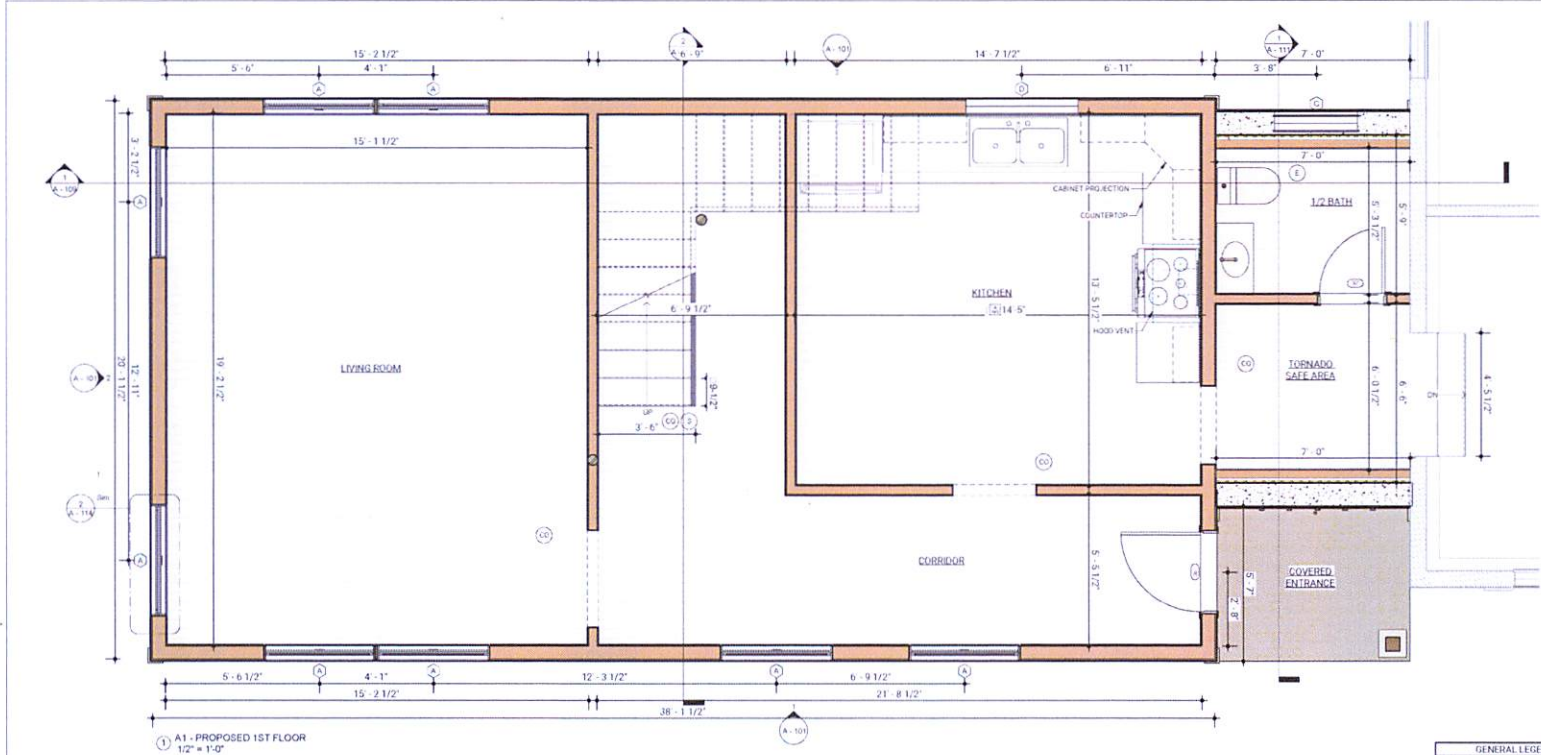
Stamp:

REVIEWED BY



Title:
**PROPOSED
 1ST FLOOR**

Sheet:
A-105



ARCHITECT'S NOTES:

1. THESE DRAWINGS WERE PREPARED FOR BUILDING PERMIT PURPOSES.
2. OTHER BUILDING SYSTEMS SUCH AS MECHANICAL, ELECTRICAL, PLUMBING, INTERIOR FINISHES, SHALL BE SELECTED BY THE OWNER.
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 - a.1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 1. VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 - a.2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
 - a.3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
 - a.4. AT THE OPENINGS AROUND VENTS, PIPES, AND DUCTS AT THE CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAMES AND PRODUCTS OF COMBUSTION.

GENERAL NOTES:

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GROSS AREA

EXISTING CONDITION
 BASEMENT = 928 SQFT
 COVERED GARAGE = 500 SQFT
 1ST FLOOR = 1,428 SQFT
 TOTAL EXISTING = 2,856 SQFT
 NEW CONDITIONS:
 1ST FLOOR = 865 SQFT
 2ND FLOOR (OLD ATTIC) = 865 SQFT
 TOTAL OF ADDITION AREA = 1,730 SQFT
 NEW TOTAL GROSS AREA = 4,586 SQFT

GENERAL LEGEND	
GRAPHIC	DESCRIPTION
(C)	CARBON MONOXIDE
(S)	SMOKE DETECTOR
(F)	EXHAUST FAN

WALL LEGEND	
GRAPHIC	DESCRIPTION
[Pattern]	EXISTING RFT CONCRETE WALL - 12" THICKNESS
[Pattern]	EXISTING 2X6 WALL
[Pattern]	EXISTING 2X4 PARTITION WALL
[Pattern]	DEMOLITION
[Pattern]	NEW 8" O.C. CONCRETE WALL - 12" THICKNESS
[Pattern]	NEW 2X4 K.D. STUD @ 16" O.C. - INTERIOR WALL
[Pattern]	NEW 2X6 K.D. STUD @ 16" O.C. - INTERIOR WALL
[Pattern]	NEW 2X6 K.D. STUD @ 16" O.C. - EXTERIOR WALL



MILLHAWK DESIGN

44 Dinwiddie Ave
Framingham, MA
01103 | 774-300-2972
www.milhawk.com

Project Information
Ballard Cir
2 Ballard Cir,
Medway

Type of Project
Side Addition

Drawn by: Juan Amador

Revised by: David K

Drawing Date: 5/2/25

Drawing Version

Drawing Scale As Indicated

Project Number: 0527

Revision

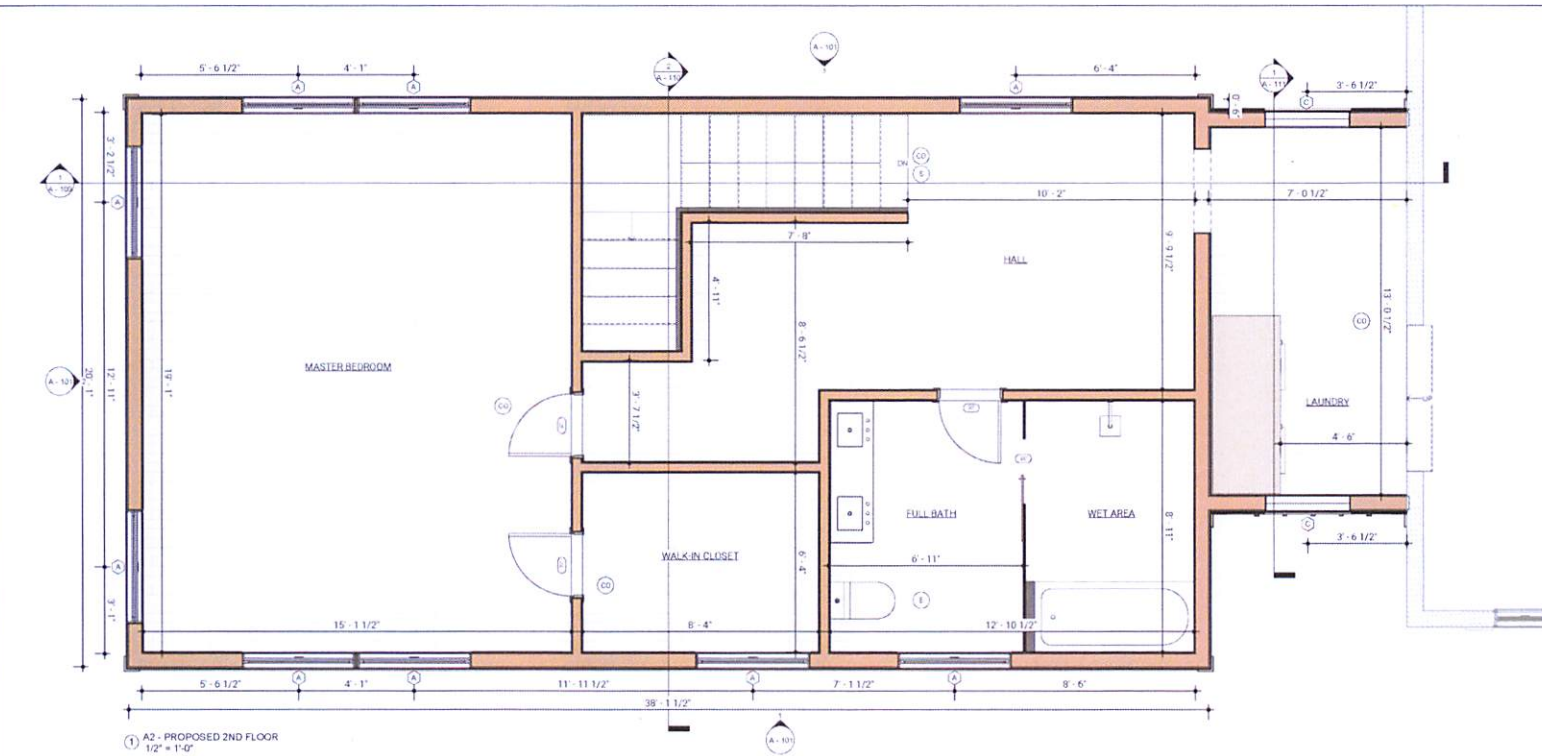
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REVIEWED BY



Title
**PROPOSED
2ND FLOOR**

Sheet
A-107



1 A2 - PROPOSED 2ND FLOOR
1/2" = 1'-0"

ARCHITECT'S NOTES

1. THESE DRAWINGS WERE PREPARED FOR BUILDING PERMIT PURPOSES
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GENERAL LEGEND	
GRAPHIC	DESCRIPTION
	CARBON MONOXIDE
	SMOKE DETECTOR
	EXHAUST FAN

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GRAPHIC	DESCRIPTION
	EXISTING 8FT CONCRETE WALL - 12" THICKNESS
	EXISTING 2X6 WALL
	EXISTING 2X4 PARTITION WALL
	DEMOLITION
	NEW 8' 0" CONCRETE WALL - 12" THICKNESS
	NEW 2X4 X 8 STUD @ 16" O.C. INTERIOR WALL
	NEW 2X6 X 8 STUD @ 16" O.C. INTERIOR WALL
	NEW 2X6 X 8 STUD @ 16" O.C. EXTERIOR WALL



MILHAWK

44 Dinwiddie Ave
 Framingham, MA
 (508) 877-7400 ext 2072
 www.milhawk.com

Project Information
 Bulfinch Cir
 2 Bulfinch Cir
 Medway

Type of Project
 Side Addition

Drawn by: JWS/ARW

Revised by: Pavel K

Drawing Date: 5/22/25

Drawing Version

Drawing Scale: 1/2" = 1'-0"

Project Number: 10527

bulletins

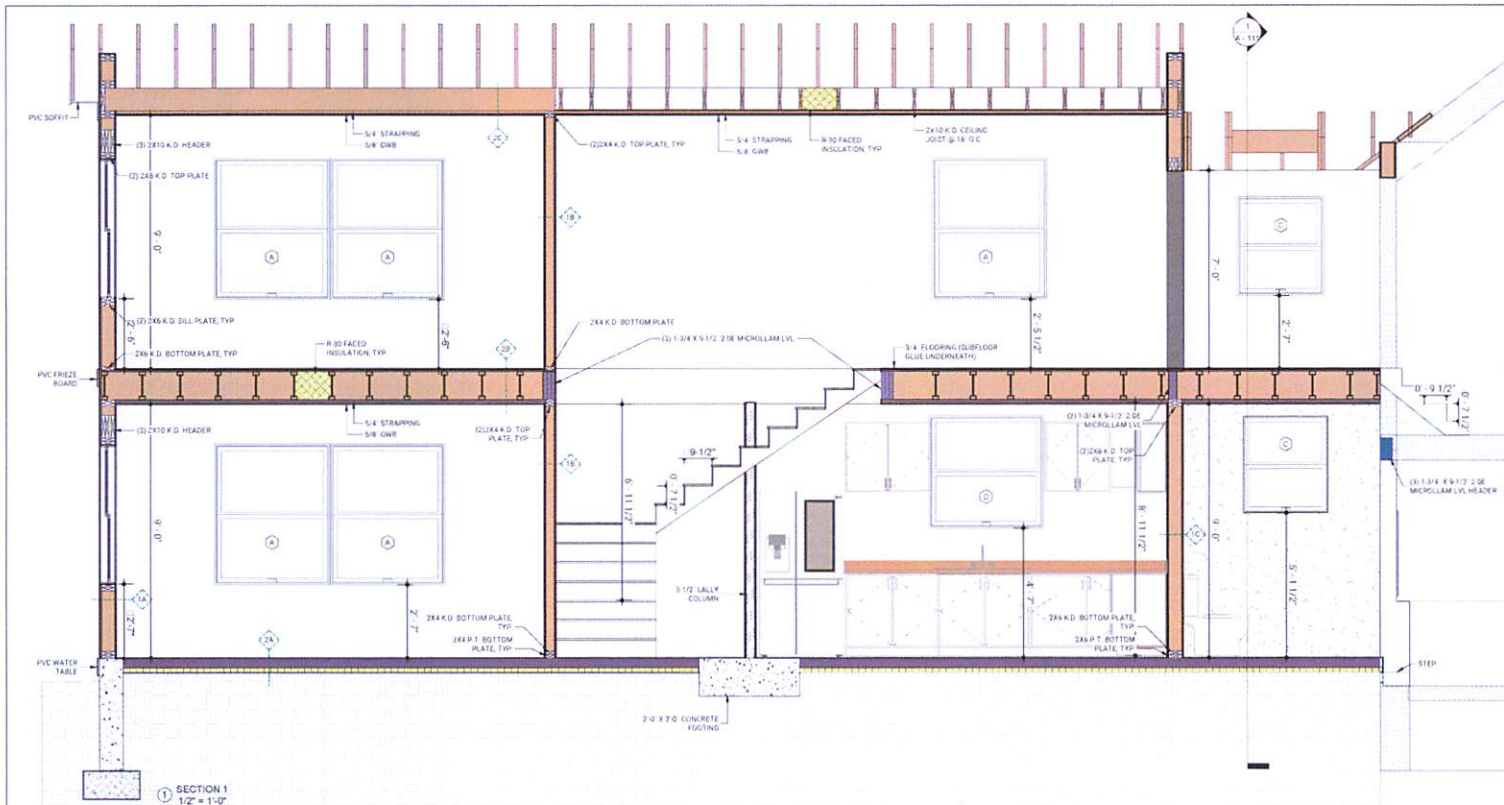
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REVIEWED BY



Title
 SECTION 1

Sheet
 A - 109



ARCHITECT'S NOTES:

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GENERAL NOTES:

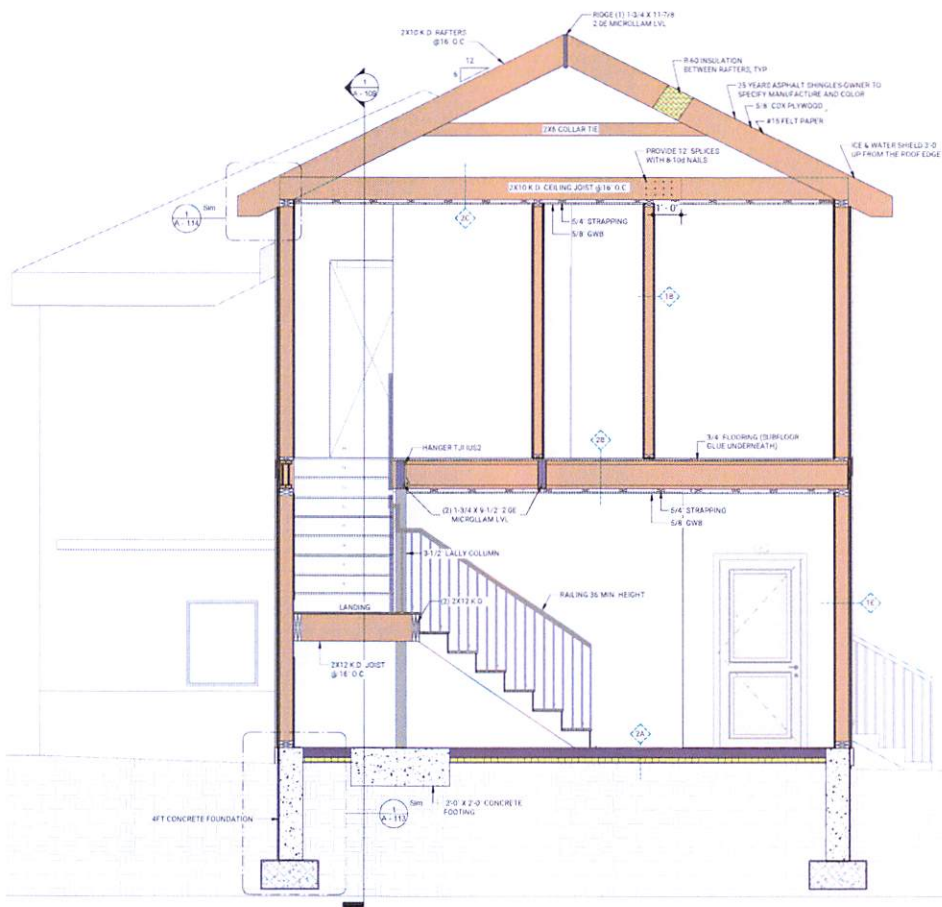
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FIBER CEMENT PANEL NOTES:

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2. RECOMMENDED FASTENERS ARE BASED ON THE ICC ESR-1844, TABLE 4. MILHAWK, K DSG & ARCH WILL NOT BE RESPONSIBLE FOR FUTURE ISSUES, MALFUNCTIONS, DAMAGE, LEAKAGE, PANEL DETACHMENTS, AND ANY OTHER RISKY SITUATIONS.



SECTION 2
1/2" = 1'-0"

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2. RECOMMENDED FASTENERS ARE BASED ON THE ICC-ES ESR-1844, TABLE 4. MILLHAWK DSG & ARCH WILL NOT BE RESPONSIBLE FOR FUTURE ISSUES, MALFUNCTIONS, DAMAGE, LEAKAGE, PANEL DETACHMENTS, AND ANY OTHER RISKY SITUATIONS.

ARCHITECT'S NOTES

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44 Diverse Ave
Farmington, MA
(413) 252-1744 / 303-2972
www.milhawk.com

Project Information
Burland Co.
2 Laurel Cir.
Methuen

Type of Project
Side Addition

Drawn by: Lisa Amador

Revised by: Phyllis K

Drawing Date: 02/25

Drawing Version

Drawing Scale: 1/2" = 1'-0"

Project Number: 1027

Worksheet

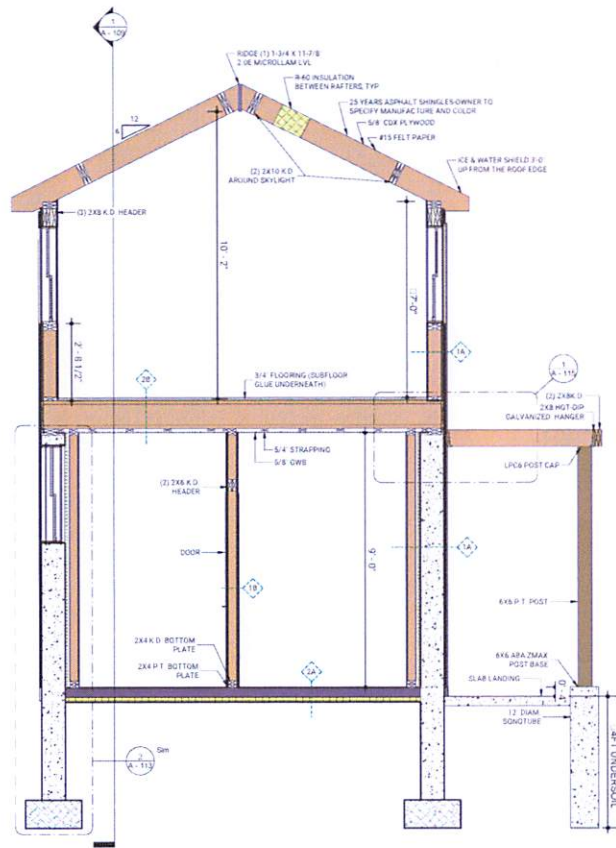
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REVIEWED BY



Title
SECTION 2

Sheet
A - 110



SECTION 3
1/2" = 1'-0"

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44 Danvers Ave
Framingham, MA
01702 (774) 300-2972
www.millhawk.com

Project Information
Dillard Cir
2 Bldg 401
Medway

Type of Project
Side Addition

Drawn by: Umi Amara

Reviewed by: Peter K.

Drawing Date: 5/2/25

Drawing Version

Drawing Scale: 1/2" = 1'-0"

Project Number: 0327

date:

Stamp:

REVIEWED BY

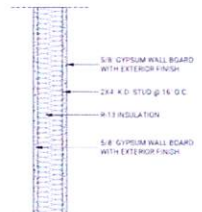


Title
SECTION 3

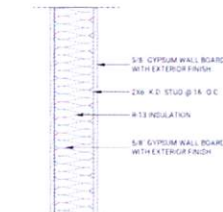
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A - 111



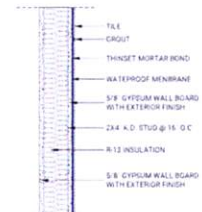
1A EXTERIOR 2X6 WALL



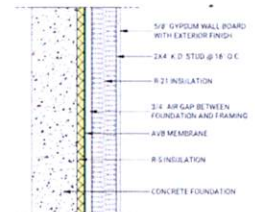
1B 2X4 PARTITION WALL



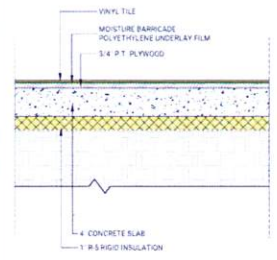
1C 2X6 PARTITION WALL



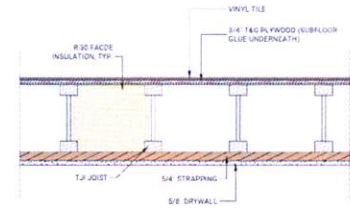
1D 2X4 WALL - WET AREA



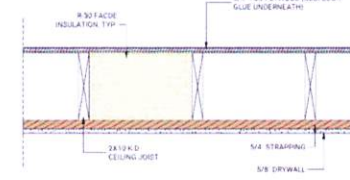
1E TORNADO SAFE WALL



2A FLOOR ASSEMBLY - SLAB



2B FLOOR/CEILING ASSEMBLY



2C CEILING ASSEMBLY

1 WALL ASSEMBLY
1 1/2" = 1'-0"

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 4. FIRE BLOCKING REQUIRED. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN TOP STORY AND THE ROOF SPACE. FIRE BLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
 a. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 a1 VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 b. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
 c. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
 d. AT THE OPENINGS AROUND VENTS, PIPES, AND DUCTS AT THE CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAMES AND PRODUCTS OF COMBUSTION.

FIRE NOTES:
 1. FIRE BLOCKING REQUIRED. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN TOP STORY AND THE ROOF SPACE. FIRE BLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
 a. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 a1 VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 b. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
 c. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
 d. AT THE OPENINGS AROUND VENTS, PIPES, AND DUCTS AT THE CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAMES AND PRODUCTS OF COMBUSTION.



44 Dinwiddie Ave
 Framingham, MA
 01702 (781) 330-2972
 www.milhawk.com

Project Information
 Bulard Cir
 2 Bulard Cir,
 Methway

Type of Project
 Site Address

Drawn By: Luis Amador
 Revised By: Phaed K
 Drawing Date: 5/2/25

Drawing Version

Drawing Scale: 1/2" = 1'-0"

Project Number: 0327

bulletin

Stamp

REVIEWED BY



Title
 WALL
 ASSEMBLY

Sheet
 A - 112



44 Dinwiddie Ave.
 Framingham, MA
 01143 (781) 301-2972
 www.milhawk.com

Project Information
 Bulard Cir.
 2 Bulard Cir.
 Medway

Type of Project
 Side Addition

Drawn by: Lisa Annala

Revised by: Phivel K

Drawing Date: 5/2/25

Drawing Version

Drawing Scale: 1/4" = 1'-0"

Project Number: 0327

Revisions

Stamp

REVIEWED BY

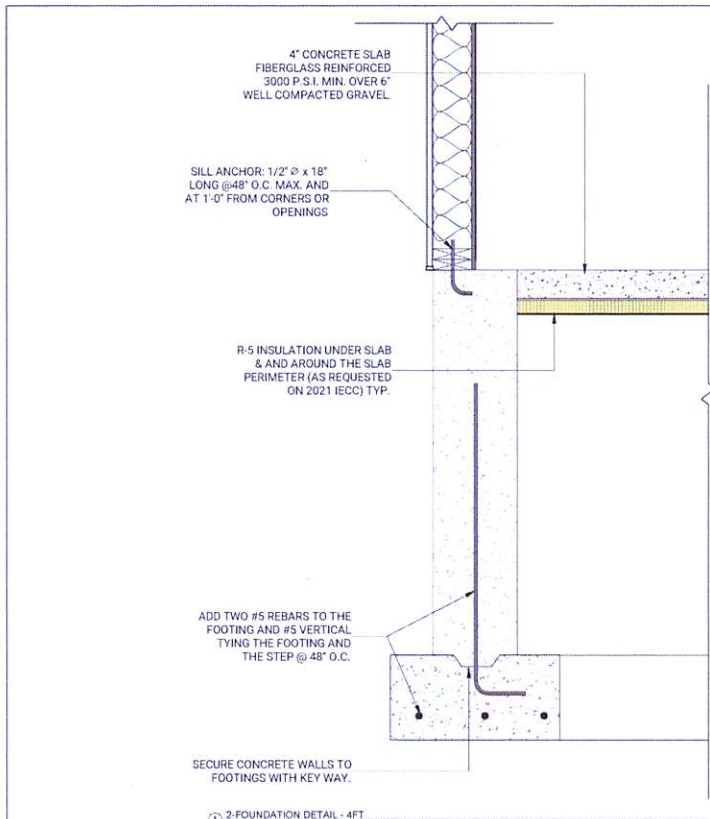


Title

DETAILS

Sheet

A - 113



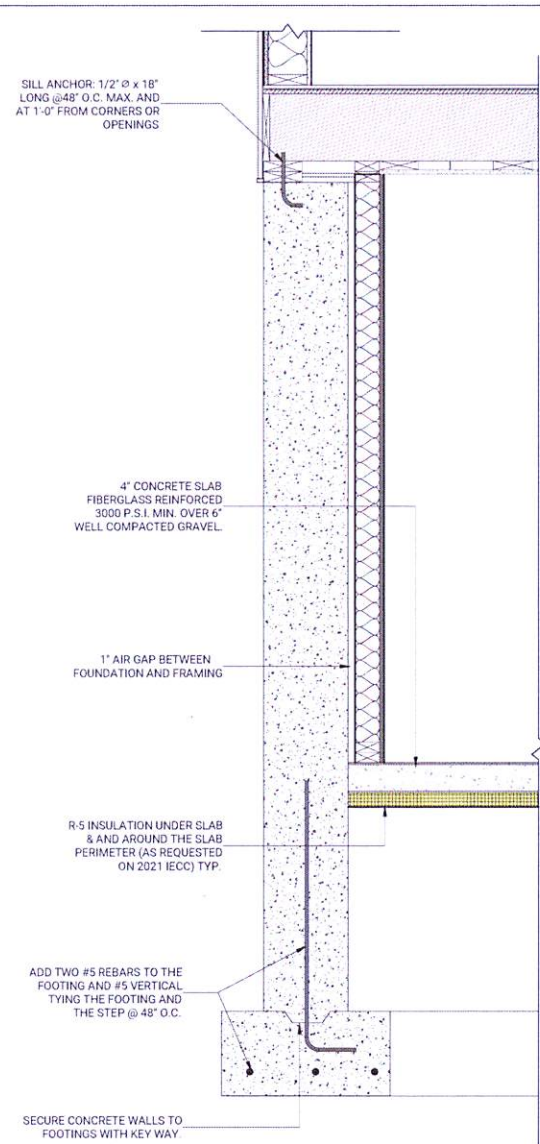
① 2-FOUNDATION DETAIL - 4FT
 1/4" = 1'-0"

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING ANY NEW CONSTRUCTION
2. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR INSTRUCTION
3. ALL WORK TO BE EXECUTED IN ACCORDANCE WITH STATE AND LOCAL CODES AND INDUSTRY STANDARD CONSTRUCTION REQUIREMENTS

ARCHITECT'S NOTES

1. THESE DRAWINGS WERE PREPARED FOR BUILDING PERMIT PURPOSES.
2. OTHER BUILDING SYSTEMS SUCH AS: MECHANICAL, ELECTRICAL, PLUMBING, INTERIOR FINISHES, SHALL BE SELECTED BY THE OWNER
3. ALL OWNER SELECTED SYSTEMS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS & COORDINATED WITH THESE DRAWINGS.
4. FIRE BLOCKING REQUIRED. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN TOP STORY AND THE ROOF SPACE. FIRE BLOCKING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS
 - a. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS
 - #2 VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 - b. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
 - c. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
 - d. AT THE OPENINGS AROUND VENTS, PIPES, AND DUCTS AT THE CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAMES AND PRODUCTS OF COMBUSTION.



② 3-FOUNDATION DETAIL - 8FT WALL
 1/4" = 1'-0"



MILLHAWK INC.

44 Dinwiddie Ave.
Framingham, MA
01702 (781) 303-2972
www.millhawk.com

Project Information
Bullard Dr.
2 Bedford Ct.
Medway

Type of Project
Side Addition

Drawn by: Lisa Arnold

Reviewed by: Pavel K.

Drawing Date: 02/25

Drawing Version

Drawing Scale: 1/12" = 1'-0"

Project Number: 0327

Signature

Stamp

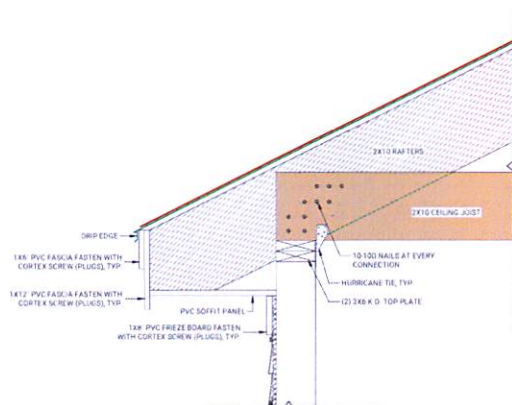
REVIEWED BY



Title
DETAILS

Sheet

A - 114



① ROOF CONNECTION DETAIL
1 1/2" = 1'-0"

GENERAL NOTES

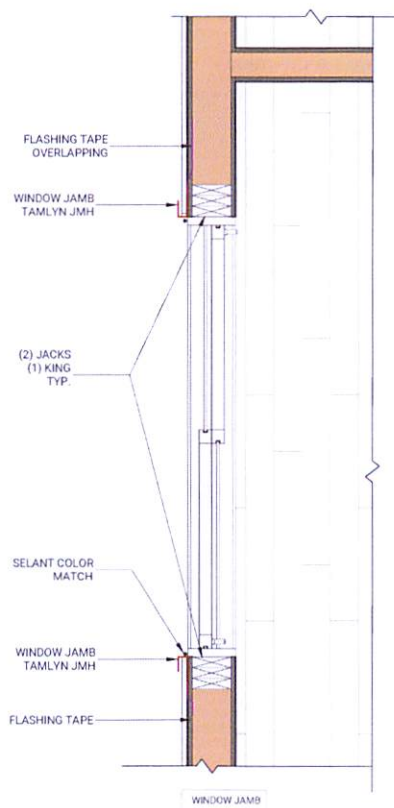
1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING ANY NEW CONSTRUCTION.
2. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR INSTRUCTION.
3. ALL WORK TO BE EXECUTED IN ACCORDANCE WITH STATE AND LOCAL CODES AND INDUSTRY STANDARD CONSTRUCTION REQUIREMENTS.

ARCHITECTS NOTES

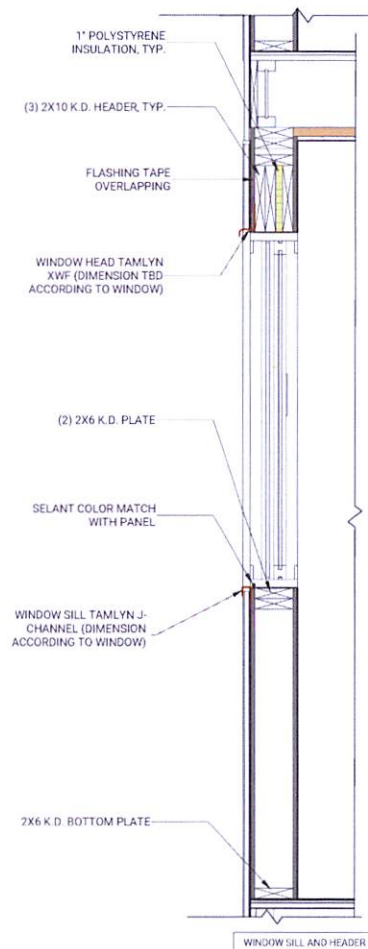
1. THESE DRAWINGS WERE PREPARED FOR BUILDING PERMIT PURPOSES.
2. OTHER BUILDING SYSTEMS SUCH AS: MECHANICAL, ELECTRICAL, PLUMBING, INTERIOR FINISHES, SHALL BE SELECTED BY THE OWNER.
3. ALL OWNER SELECTED SYSTEMS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS & COORDINATED WITH THESE DRAWINGS.
4. FIRE BLOCKING REQUIRED: FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN TOP STORY AND THE ROOF SPACE. FIRE BLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
 - a1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 - a2. VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 - b. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
 - c. IN CONCEALED SPACES BETWEEN STAIR STRING AT THE TOP AND BOTTOM OF THE RUN.
 - d. AT THE OPENINGS AROUND VENTS, PIPES, AND DUCTS AT THE CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAMES AND PRODUCTS OF COMBUSTION.

FIRE NOTES

1. FIRE BLOCKING REQUIRED: FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN TOP STORY AND THE ROOF SPACE. FIRE BLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
 - a1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 - a2. VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 - b. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
 - c. IN CONCEALED SPACES BETWEEN STAIR STRING AT THE TOP AND BOTTOM OF THE RUN.
 - d. AT THE OPENINGS AROUND VENTS, PIPES, AND DUCTS AT THE CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAMES AND PRODUCTS OF COMBUSTION.



② 5-WINDOWS JAMBS, HEADER AND SILL
1 1/2" = 1'-0"



WINDOW SILL AND HEADER



CAPSTONE DESIGN PARTNERS
MODERN LIVING



Type of Construction:
Garage 2 Bay

2 Bullard Cir
MEDWAY MA 02053

PROJECT LOCATION
2 Bullard Cir, Medway, MA 02053

A1

GENERAL NOTES:

1. ALL WORK SHALL CONFORM TO MASSACHUSETTS BUILDING CODE AND ALL FEDERAL, STATE AND LOCAL ORDINANCES, RULES AND REGULATIONS AS EACH MAY APPLY.
2. ALL EXISTING CONDITIONS MUST BE VERIFIED AND ALL DISCREPANCIES FOUND THERE TO BE REPORTED TO THE ENGINEER PRIOR TO START OF WORK. CONDITIONS OR DEFECTS OF THE EXISTING CONDITIONS OF THE BUILDING ELEMENTS AND/OR THE SITE CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER PRIOR TO THE START OF SUCH WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULING AND WORK OF ALL TRADES AND SHALL OBTAIN ALL DIMENSIONS AND DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER AND SHALL BE SOLVED PRIOR TO PROCEEDING WITH THE WORK.
4. THE CONTRACTOR SHALL SUPPLY AND INSTALL ALL MATERIALS AND SHALL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION QUALITY OF THE WORK. TECHNICAL SPECIFICATIONS AND CODES SHALL BE NOTED TO BE FOLLOWED AND MAINTAINED.
5. THE CONTRACTOR AGREES THAT RELATED TO WORK WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY AND LIABILITY FOR THE SAFETY OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY AND THAT THE CONTRACTOR SHALL ASSUME COMPLETELY AND SOLELY THE LIABILITY TO PERSONS AND PROPERTY.
6. ALL WORK SHALL BE PERFORMED IN A HIGH CLASS AND WORKMANLIKE MANNER IN ACCORDANCE WITH THE STANDARDS SPECIFICATIONS AND SHALL BE IN FULL COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
7. THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PROTECT EXISTING UTILITIES AND STRUCTURE PLACEMENT PRIOR TO START OF THE WORK. THE CONTRACTOR SHALL TAKE ALL POSSIBLE PRECAUTIONS TO AVOID DAMAGE TO SAME. ANY DAMAGE TO EXISTING STRUCTURES AND UTILITIES, WHETHER CAUSED BY THE CONTRACTOR OR OTHERWISE, SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. PRIOR TO STARTING THE WORK, THE CONTRACTOR SHALL VISIT THE SITE AND THERE, COMPARE WITH THE ACTUAL CONDITIONS AND QUANTITIES OF ANY WORK AND CLAIM AGAINST THE OWNER OR ENGINEER WILL BE ALLOWED FOR ANY DISCREPANCY THEREIN, SOONER THAN DATE.
9. CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC AND TRUCKING MOVEMENTS.
10. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
11. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
12. ALL WORK SHALL BE DONE IN ACCORDANCE WITH STATE AND LOCAL CODES AND RECENTLY ADOPTED STANDARDS CONSTRUCTION PRACTICES.
13. ALL MATERIALS AND METHODS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION.

ARCHITECT'S NOTES:

1. THESE DRAWINGS WERE PREPARED FOR BUILDING PERMIT PURPOSES.
 2. OTHER BUILDING SYSTEMS SUCH AS: MECHANICAL, ELECTRICAL, PLUMBING, INTERIOR FINISHES, SHALL BE SELECTED BY THE OWNER.
 3. ALL OWNER SELECTED SYSTEMS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS & COORDINATED WITH THESE DRAWINGS.
- DECK NOTES:**

1. CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION, SHORING, AND RELOCATION WORKS, IF ANY.
2. ALL WOOD TO BE PRESSURE TREATED, SYP NO.2 OR BETTER.
3. ALL CONNECTORS TO STAINLESS STEEL.
4. CONCRETE SHALL BE FC = 3000 PSI.
5. DECK BOARDS SHALL BE ATTACHED TO EACH JOIST WITH TWO NAILS OR DECK SCREWS.
6. CONNECTOR SHALL BE BY SIMPSON OR APPROVED EQUAL.

GENERAL CONDITIONS:

1. CONTRACTOR SHALL REVIEW ALL DEMOLITION PROCEDURES WITH ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
2. CONTRACTOR SHALL PREPARE A DEMOLITION / CONSTRUCTION SCHEDULE TO BE SUBMITTED, REVIEWED AND COORDINATED WITH THE MANAGEMENT COMPANY A MINIMUM OF 1 WEEK PRIOR TO ANY PLANNED WORK.
3. NO WORK SHALL BE EXECUTED BEFORE 8 A.M. AND NO LATER THAN 6 P.M., WEEKENDS AND HOLIDAYS.
4. CONTRACTOR SHALL SAFEGUARD AND PROTECT THE EXISTING LANDSCAPE AND SHALL BE RESPONSIBLE FOR ANY REPAIRS OR CORRECTIVE DAMAGE.
5. THE CONTRACTOR SHALL COORDINATE WITH THE MANAGEMENT COMPANY FOR TEMPORARY TOILET FACILITIES, TEMPORARY ELECTRIC, PARKING FOR WORKERS, MATERIAL DELIVERIES AND STORAGE.
6. CONTRACTOR SHALL ON A DAILY BASIS MAINTAIN A SAFE AND ORDERLY PROJECT SITE, FREE OF ANY HAZARDS.

FIRE NOTES:

1. FIRE BLOCKING REQUIRED. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN TOP STORY AND THE ROOF SPACE.
- FIRE BLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS.
- a. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS; AS FOLLOWS.
 - a2. VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 - b. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
 - c. IN CONCEALED SPACES BETWEEN STAIR STRINGS AT THE TOP AND BOTTOM OF THE RUN.
 - d. AT THE OPENINGS AROUND VENTS, PIPES, AND DUCTS AT THE CEILING AND FLOOR LEVEL.



CAPSTONE DESIGN PARTNERS
MODERN LIVING

Type of Construction:
Garage 2 Bay

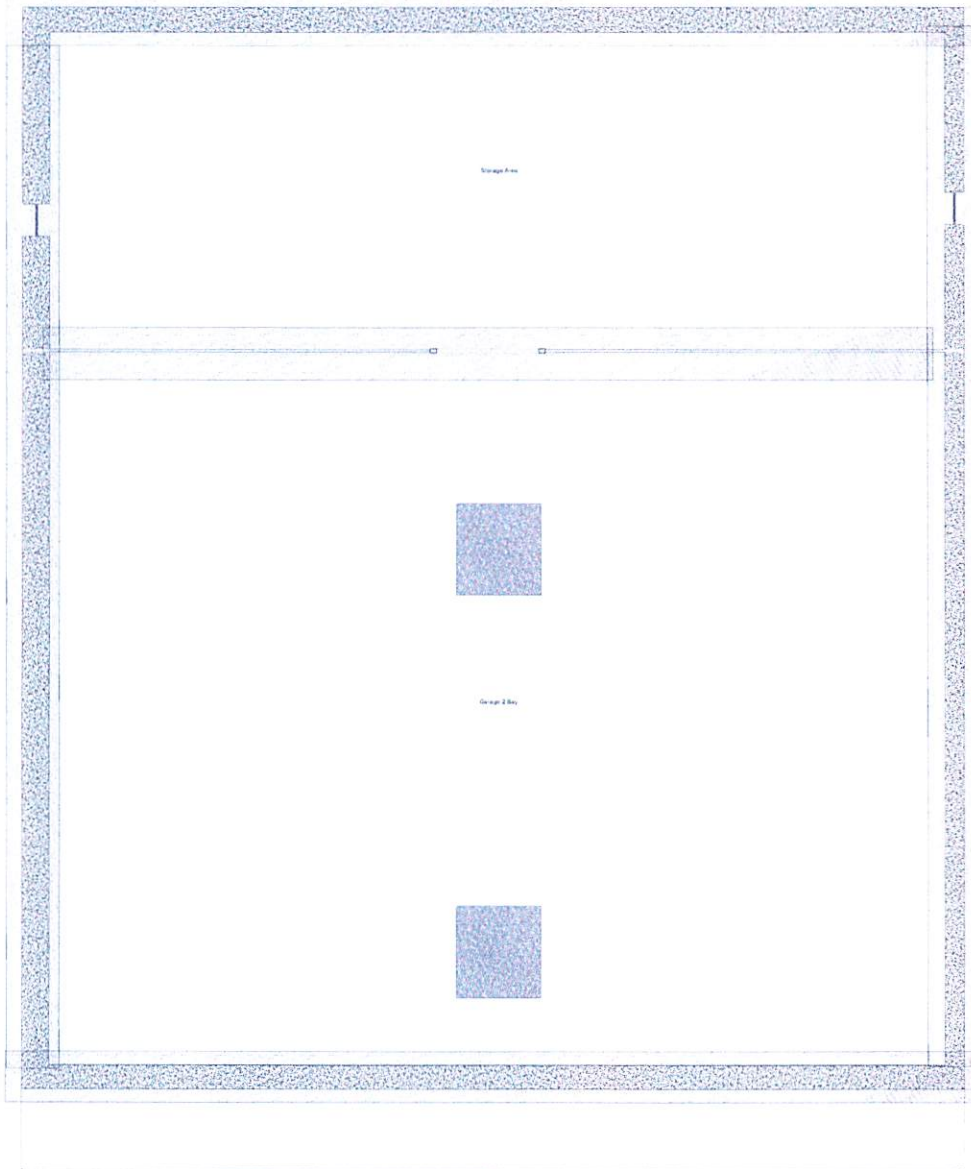
2 Bullard Cir
MEDWAY MA 02053



A2



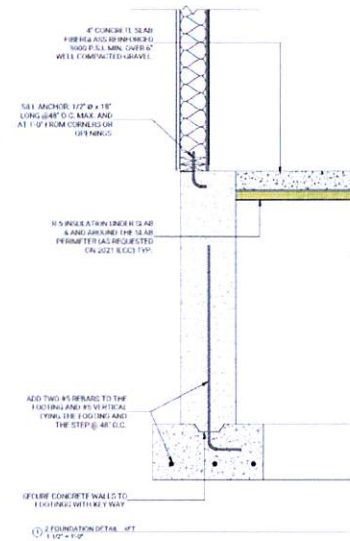
CAPSTONE DESIGN PARTNERS
MODERN LIVING



1. THESE DRAWINGS WERE PREPARED FOR BUILDING PERMIT PURPOSES.
 2. OTHER BUILDING SYSTEMS SUCH AS MECHANICAL, ELECTRICAL, PLUMBING, INTERIOR FINISHES, SHALL BE SCHEDULED BY THE OWNER.
 3. ALL OWNER SELECTED SYSTEMS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS & COORDINATED WITH THESE DRAWINGS.
 4. FIRE BLOCKING REQUIRED: FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN THE TOP STORY AND THE ROOF SPACE. FIRE BLOCKING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
 - a. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND WALLS OF ROWS OF STUDS OR SADDLED STUDS AS FOLLOWS:
 - i. AT THE JOINTS BETWEEN THE CEILING AND FLOOR LEVELS.
 - ii. AT ALL VERTICAL JOINTS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE OPENINGS.
 - iii. IN CONCEALED SPACES BETWEEN START STRINGS AT THE TOP AND BOTTOM OF THE RUN.
 - iv. AT THE JOINTS AROUND VENTS, PIPES, AND DUCTS AT THE CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAMES AND PRODUCTS OF COMBUSTION.
- IMPORTANT NOTICE:**
THE CONTRACTOR Hired BY THE CLIENT DOES NOT HAVE THE AUTHORITY TO MODIFY STRUCTURAL DETAILS, INTERNAL LAYOUT OR ANY OTHER ASPECTS COVERED BY THE PROJECT.
IF THE CONTRACTOR IDENTIFIES ANY NECESSARY CHANGES, THEY MUST CONTACT ARCHITECTS & ARCH TO REQUEST A MODIFICATION WHICH WILL ONLY BE CONSIDERED THROUGH AN ARCHITECT'S SIGNATURE FOR AN ORDERING JUST IN CASE THE NEED FOR THE CHANGE, THE MODIFICATION WILL BE GRANTED AND UPLOADED IN THE PROJECT THROUGH A BULLETIN.

Type of Construction:
Garage 2 Bay

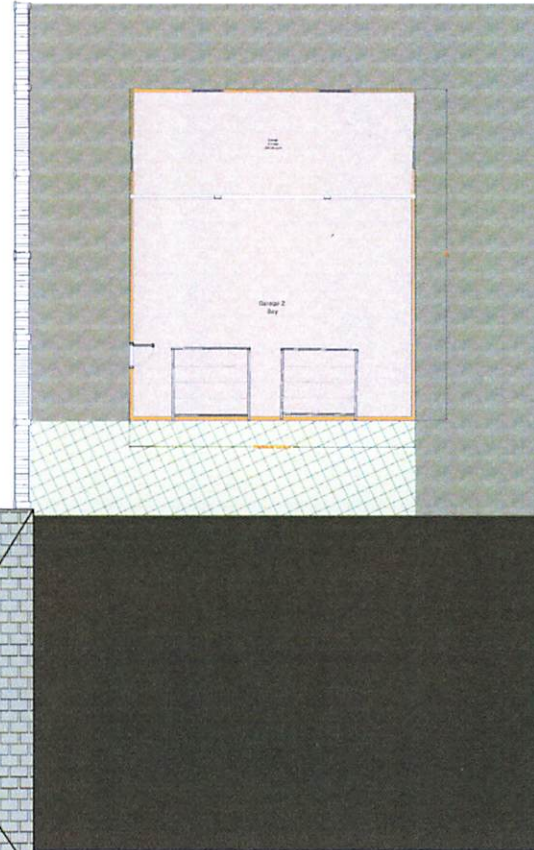
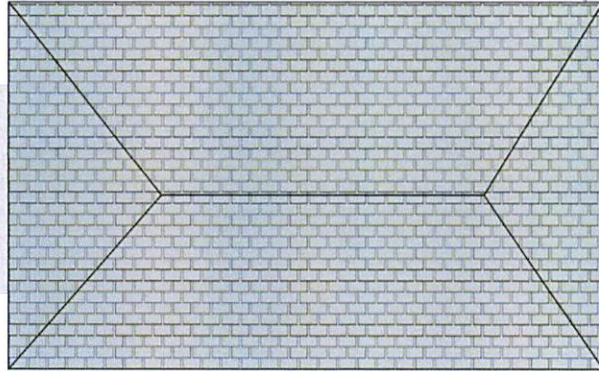
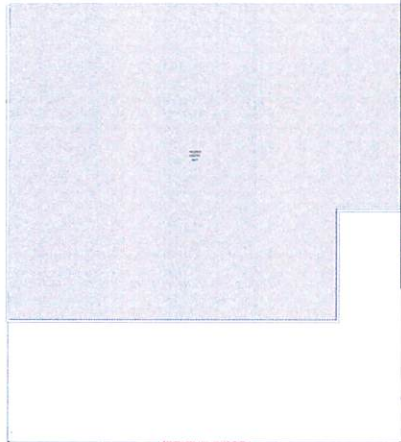
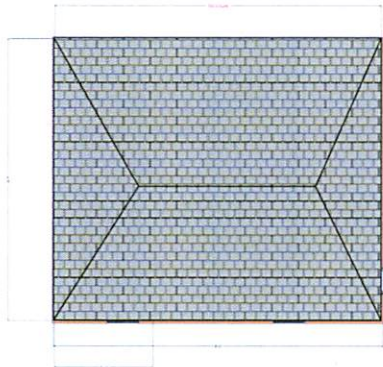
2 Bullard Cir
MEDWAY MA 02053



A3



CAPSTONE DESIGN PARTNERS
MODERN LIVING



Type of Construction:
Garage 2 Bay

2 Bullard Cir
MEDWAY MA 02053

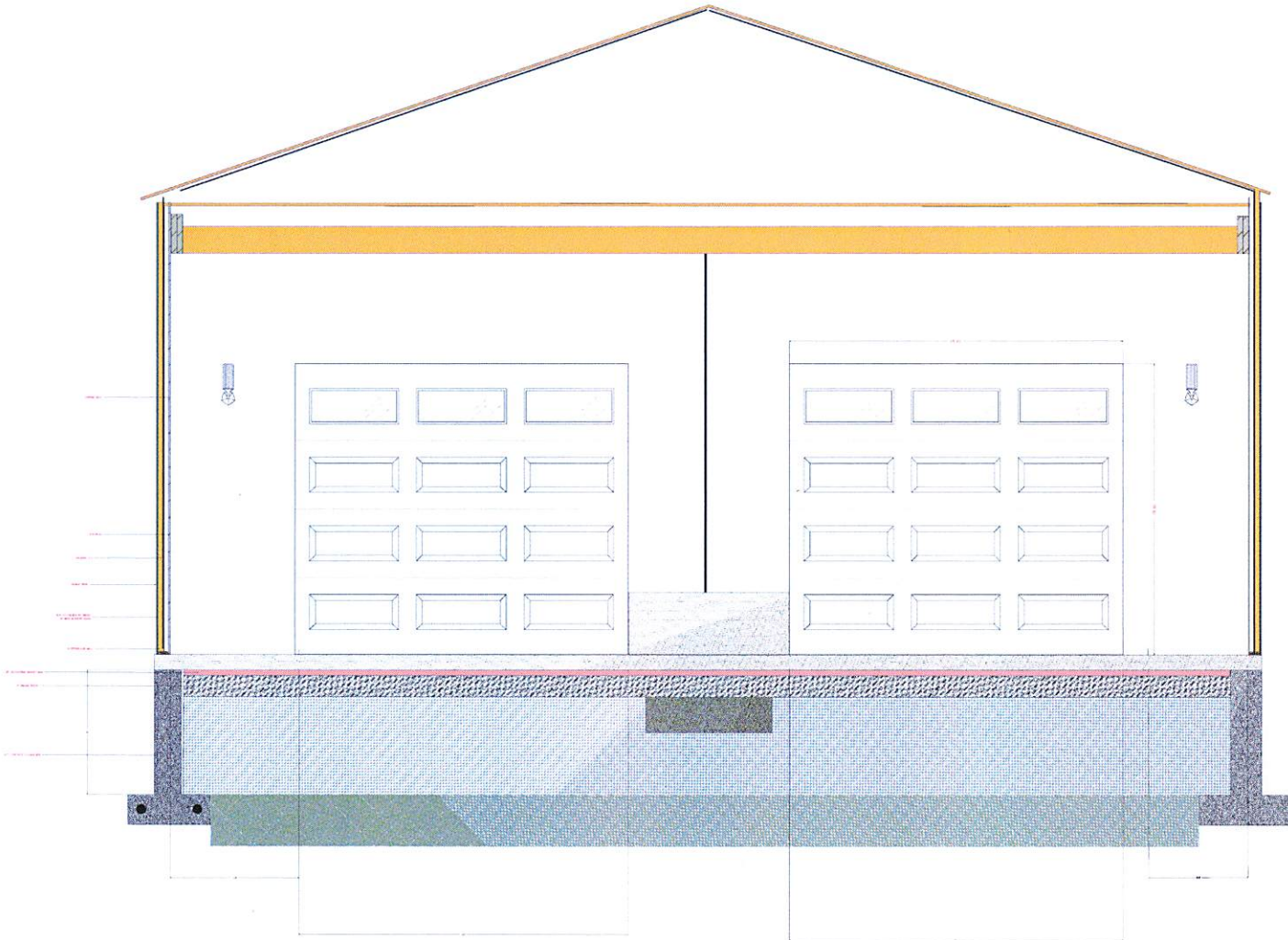
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CAPSTONE DESIGN PARTNERS
MODERN LIVING

Type of Construction:
Garage 2 Bay

2 Bullard Cir
MEDWAY MA 02053



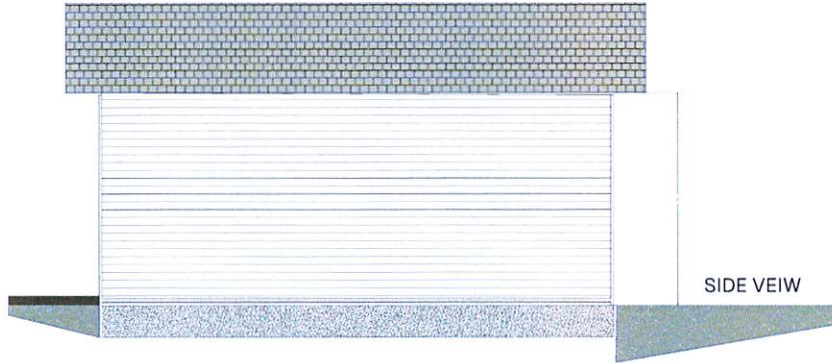
1. THESE DRAWINGS WERE PREPARED FOR BUILDING PERMIT PURPOSES.
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 3. ALL OWNER SELECTED SYSTEMS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS & COORDINATED WITH THESE DRAWINGS.
 4. FIRE BLOCKING REQUIRED: FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STOREYS, AND BE TAKEN:
 a. TOP STOREY AND THE ROOF SPACE: FIRE BLOCKING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
 i. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FLURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 i. VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 ii. AT ALL INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT CORNERS, END OF RISERS AND CORNERS.
 iii. IN CONCEALED SPACES BETWEEN SIAH STRINGS AT THE TOP AND BOTTOM OF THE RUN.
 iv. AT THE OPENINGS AROUND VENTS, PIPES, AND DUCTS AT THE CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAMES AND PRODUCTS OF COMBUSTION.
 b. IMPORTANT NOTICE:
 THE CONTRACTOR HIRED BY THE CLIENT DOES NOT HAVE THE AUTHORITY TO MODIFY STRUCTURAL DETAILS, INTERNAL LAYOUT OR ANY OTHER ASPECTS COVERED BY THE PROJECT.
 IF THE CONTRACTOR IDENTIFIES ANY NECESSARY CHANGES, THEY MUST CONTACT MILLER HAWKES & ARCH TO REQUEST A MODIFICATION, WHICH WILL ONLY BE CONSIDERED THROUGH AN RFI REQUEST FOR INFORMATION, JUSTIFYING THE NEED FOR THE CHANGE. THE MODIFICATION WILL BE GRANTED AND DEPICTED IN THE PROJECT THROUGH A BULLETIN.

PROJECT INFORMATION
 BUILDING CODES: IRC, IBC, 800 MASSACHUSETTS BUILDING CODE 8TH EDITION
 AMENDMENTS:
 LOCAL JURISDICTION: CITY, STATE, COUNTY & GENERAL BY-LAWS MEDWAY, MA 02053
 OCCUPANCY GROUP: U-1B, S10A
 TYPE OF CONSTRUCTION: GARAGE STRUCTURE

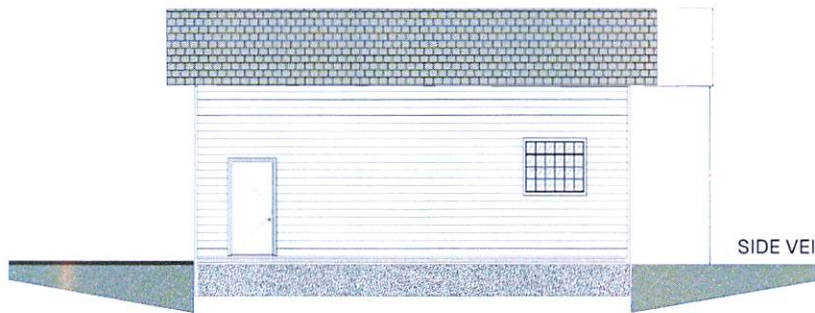
A5



CAPSTONE DESIGN PARTNERS
MODERN LIVING



SIDE VIEW



SIDE VIEW EAST SIDE

Type of Construction:
Garage 2 Bay

2 Bullard Cir
MEDWAY MA 02053

ARCHITECT'S NOTES:

1. THESE DRAWINGS ARE THE PROPERTY OF ARCHITECTS FIRST PARTNERSHIP.
2. OTHER BUILDING SYSTEMS OR MATERIALS MANUFACTURED BY OTHER COMPANIES SHOULD BE SELECTED BY THE OWNER.
3. ALL WORK SHALL BE TO THE STANDARD OF QUALITY OF ASSOCIATED PERFORMANCE SPECIFIC CODES AND REGULATIONS AND THESE DRAWINGS.
4. FIRE BLOCKING REQUIRED FOR BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED CHASES AND PENETRATIONS VERTICAL AND HORIZONTAL TO FORM AN INTEGRAL FIRE BARRIER FOR WALLS, BENCHES, AND BETWEEN FLOOR AND THE ROOF SPACE. FIRE BLOCKING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
 - a. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING HORIZONTAL SPACES AND PARALLEL ROWS OF STUDS OR SLAGGED STUDS, AS FOLLOWS:
 - i. BETWEEN FLOOR AND ROOF LEVELS.
 - ii. BETWEEN WALLS AND PARTITIONS, INCLUDING HORIZONTAL SPACES AND PARALLEL ROWS OF STUDS OR SLAGGED STUDS, AS FOLLOWS:
 - i. IN CONCEALED SPACES BETWEEN STUDS OR SLATS AT THE TOP AND BOTTOM OF THE WALL.
 - ii. AT THE OPENINGS AROUND VENTS, PIPES, AND DUCTS AT THE CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAMES AND PRODUCTS OF COMBUSTION.

FIRE NOTES:

- a. FIRE BLOCKING REQUIRED FOR BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED CHASES AND PENETRATIONS VERTICAL AND HORIZONTAL TO FORM AN INTEGRAL FIRE BARRIER FOR WALLS, BENCHES, AND BETWEEN FLOOR AND THE ROOF SPACE. FIRE BLOCKING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
 - i. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING HORIZONTAL SPACES AND PARALLEL ROWS OF STUDS OR SLAGGED STUDS, AS FOLLOWS:
 - i. BETWEEN FLOOR AND ROOF LEVELS.
 - ii. BETWEEN WALLS AND PARTITIONS, INCLUDING HORIZONTAL SPACES AND PARALLEL ROWS OF STUDS OR SLAGGED STUDS, AS FOLLOWS:
 - i. IN CONCEALED SPACES BETWEEN STUDS OR SLATS AT THE TOP AND BOTTOM OF THE WALL.
 - ii. AT THE OPENINGS AROUND VENTS, PIPES, AND DUCTS AT THE CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAMES AND PRODUCTS OF COMBUSTION.

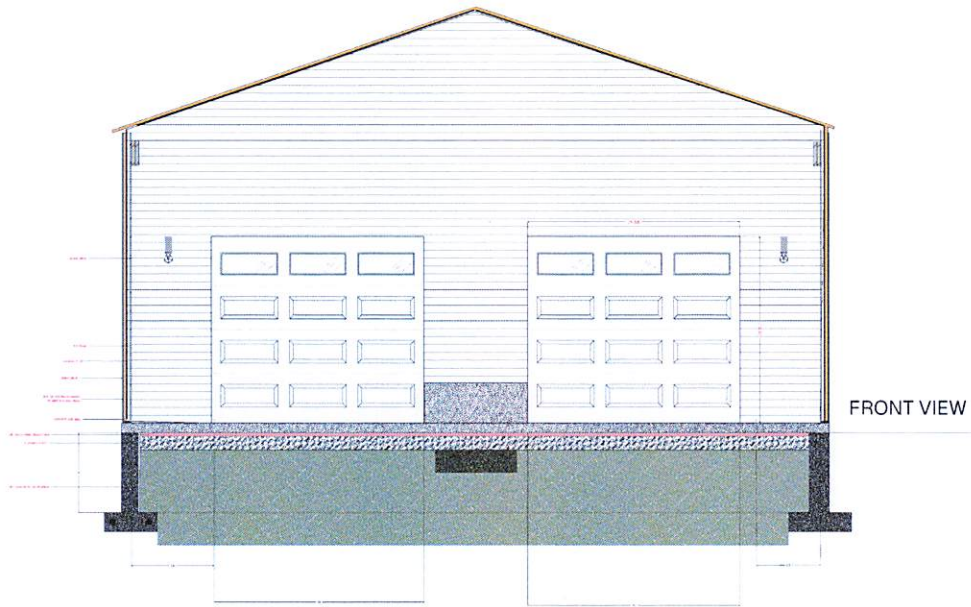
GENERAL NOTES:

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING ANY NEW CONSTRUCTION.
2. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR INSTALLATION.
3. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH STATE AND LOCAL CODES AND REGULATORY STANDARDS AND CONSTRUCTION REQUIREMENTS.

A6



CAPSTONE DESIGN PARTNERS
MODERN LIVING



FRONT VIEW

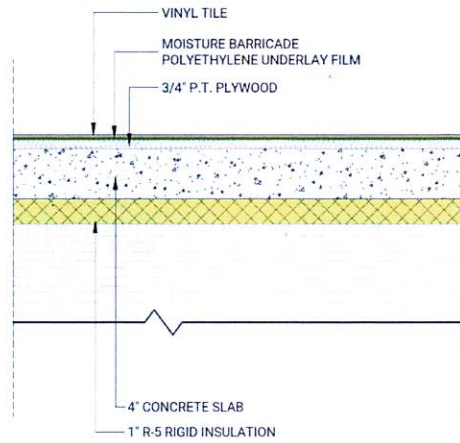
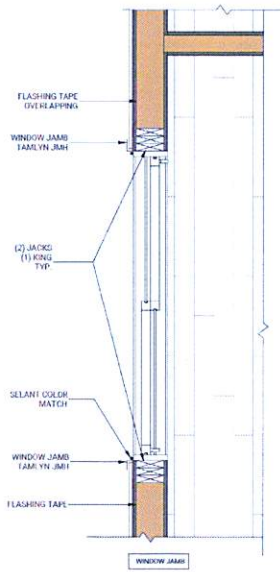
Type of Construction:
Garage 2 Bay

2 Bullard Cir
MEDWAY MA 02053

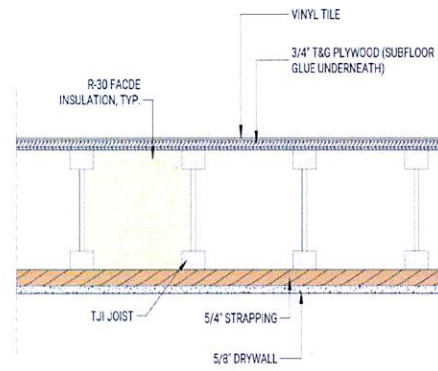


REAR VIEW

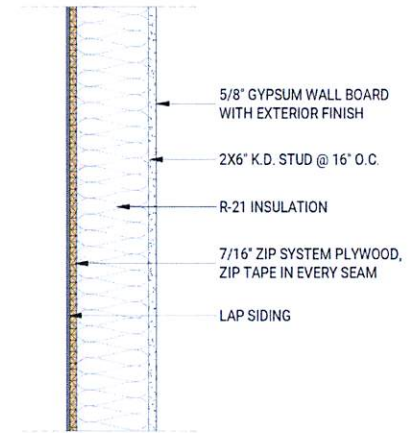
A7



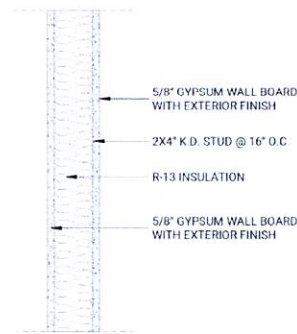
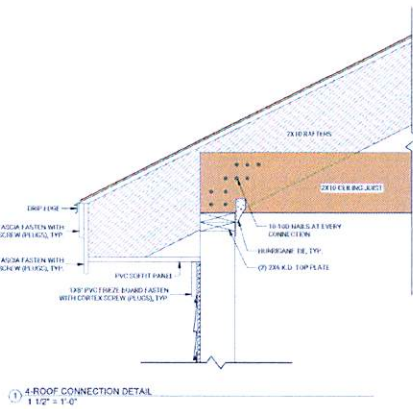
2A FLOOR ASSEMBLY - SLAB



2B FLOOR/CEILING ASSEMBLY



1A EXTERIOR 2X6 WALL



1B 2X4 PARTITION WALL

